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INTRODUCTION TO SERVICES

Riedinger Consulting specializes in assisting clients with management issues in the architectural/engineering design and construction industry. The firm's consultants have managed projects for Owner organizations, Construction Management firms, and General Contractors and understand the role of each player in the design and construction process. This hands-on experience, combined with experience in construction claims consulting, provides a broad perspective to clients and a proven record of solving problems.

In business since 1997 as a woman-owned business, Riedinger Consulting has assisted public and private Owners, Contractors, Subcontractors, and Design Consultants with contract dispute resolution and project management. We have been involved with many types of projects including:

Airports & Ports	Power Plants	Universities & Schools	Office Buildings
Mass Transit	Co-Generation Plants	Courthouses & Jails	Retail Buildings
Highways	Chemical Plants	Postal Facilities	Hotels
Bridges	Oil Refineries	Community Centers	Residential Buildings
Wastewater Treatment Plants	Pipelines	Medical Facilities	Water Parks
Water Systems	Environmental Remediation	Laboratories	Seismic Retrofits

Contract Dispute Resolution

- Analyze and negotiate contract disputes.
- Settle pending change orders.
- Prepare construction claims.
- Perform schedule delay, damages and entitlement analyses.
- Create multimedia presentations summarizing the key issues of a claim.
- Provide litigation support and expert testimony.

Proactive Management

In addition, we encourage clients to take proactive measures during the planning, design and construction phases of projects to prevent disputes. Our exposure to multiple contract disputes has reinforced our philosophy that most claims and disputes are avoidable. We provide proactive management assistance to the client team during the project in many areas including:

Planning and Design

- Manage and control the design process.
- Review design plans for completeness and constructability.
- Review specification language for scheduling, changes to the contract, and dispute resolution.
- Assist with developing the structure and management of the project team.
- Assess project risks and the business cost of project delays and select effective project reporting methods.
- Identify project phases and key milestones. Develop project schedules for all phases including design, construction, commissioning, furnishings, special installations, and Owner move-in.

Construction

- Review project organization, project controls, and project documentation to determine their effectiveness.
- Assist with developing the baseline schedule and with updating and maintaining the schedule properly so that it is an effective management tool.
- Track and analyze schedule impacts and resolve delays in real time.
- Track and segregate cost overruns associated with changes and impacts.
- Perform a project “checkup” to determine if the project status reports and forecasts tell the whole story.
- Assist with deciding whether to accelerate the project or allow project completion to slip, if schedule delays occur.

In addition to possessing the technical skills and construction experience necessary to assist clients with the construction process, Riedinger Consulting has the communication skills and client sensitivity necessary for dealing with the multiple parties involved in the challenging construction environment. Our goal is to work as an integral part of the client/consultant/attorney team, as effectively and efficiently as possible. We encourage the use of detailed work-plans and budgets to keep our clients informed about the scope and progress of our work. We welcome communication amongst the team to provide the best service and results to our clients. We look forward to working as part of your team.

We invite you to review the following sections, which describe in more detail the contract dispute resolution and proactive management services we provide. Also included are summaries of past projects and consultant résumés. The following page provides a list of our representative clients.

Riedinger Consulting has provided dispute resolution/project management services for Contractors, Owners and consulting firms including:

Owners

UNIVERSITY OF CALIFORNIA

UNIVERSITY OF SAN FRANCISCO

PORT OF OAKLAND

EAST BAY MUNICIPAL UTILITY DISTRICT

CITY OF NEWARK

COUNTY OF MARIN

CONTRA COSTA COUNTY

SAUSALITO MARIN CITY SANITARY DISTRICT

LIVERMORE AREA RECREATION & PARKS DISTRICT

CITY OF SAUSALITO

Contractors

KAJIMA ENGINEERING AND CONSTRUCTION, INC.

RUDOLPH & SLETTEN

HUNT CONSTRUCTION / AECOM

HOWARD S. WRIGHT CONSTRUCTION Co.

PCL CONSTRUCTION SERVICES, INC.

ACCO ENGINEERED SYSTEMS, INC.

BASS ELECTRIC

REX MOORE GROUP, INC.

ALSTOM SIGNALING, INC.

AUTOMATED LOGIC CONTROLS

PATRIOT CONSTRUCTION

EPC Contractors

BECHTEL CORPORATION

ABB LUMMUS GLOBAL

JD2, INC.

Architectural/Engineering Design Firms

HDR ENGINEERING, INC.

PERKINS+WILL

ED2 INTERNATIONAL/MBT ARCHITECTURE JOINT VENTURE

TBP ARCHITECTURE

TREADWELL & ROLLO

Insurance Companies

KEMPER INSURANCE

WILLIS INSURANCE OF NORTH AMERICA

DISPUTE RESOLUTION

Riedinger Consulting provides dispute resolution services for public and private Owners, Contractors, Designers, and Construction Managers. Our team of experienced professionals is committed to helping clients minimize their costs and resolve their disputes in a timely manner. Whether involved at the beginning of an issue or retained after one has already arisen, we will work with you to fulfill this commitment.

At the end of a project, there may be unresolved changes and unsettled claims. Riedinger Consulting helps both Owners and Contractors explore their settlement options to avoid a lengthy and expensive claims process. We perform a preliminary assessment of the issues surrounding the unsettled claim, identify the strengths and weaknesses of the claim, and recommend the best course of action for a cost-effective resolution. If the preliminary assessment determines that further analyses and information are necessary to resolve the claim, we provide a work plan for these steps.

Riedinger Consulting performs schedule analyses, cost analyses, and entitlement reviews to unravel the facts, determine fault, and assess delays and damages. Having worked in all of these areas of construction projects and claims, we are familiar with contract documents, Contractors' records, cost accounting systems and scheduling programs. Whether the scope of work requires preparation of a claim, claim rebuttal, or preparation for a negotiation or mediation, Riedinger Consulting's analysis may include any or all of the following components:

Entitlement

- Review the contract, including plans and specifications, to determine whether there is entitlement for the issues claimed.
- Analyze the issues and events which impacted the project and determine who was responsible for those events.
- Integrate the findings of the schedule analysis with the costs claimed to establish a cause and effect link between the events, the changes, and the costs.
- Assess and allocate the cost of delays or the cost of acceleration to the responsible parties in order to determine how much time and money each party is entitled to recover.

Schedule

- Review the original as-planned baseline schedule for reasonableness.
- Review the as-built schedule to determine where delays and disruptions occurred.
- Analyze delays and disruptions to the critical path of the schedule caused by events and changes throughout the project or program.
- Identify concurrent delays.
- Allocate responsibility for delays and disruptions to the responsible parties.

Cost

- Analyze job cost reports to determine which line items incurred cost overruns and to correlate those overruns to the events and delays which occurred on the project.
- Calculate damages including time related and additional direct and indirect costs.
- Review change orders and other additional cost requests for reasonableness and accuracy.
- Review Subcontractor claims for reasonableness, accuracy, and consistency with the General Contractor's claim.

The most difficult part of many construction disputes is discerning between what is fact and what is fiction. To support our analyses, we review project documents, Freedom of Information Act documents, and documents obtained through discovery. Additionally, we interview project team members, Subcontractors, representatives of design teams, and Owner organizations to obtain information about the project events. We create document databases for easy retrieval of information during the claim preparation or review.

We summarize the findings of our analyses in a written report or a graphic presentation customized to the needs of our client including:

- Reports that include summary level discussions supported by detailed analyses and supporting documentation.
- Summary level reports to management.
- Computer-aided presentations of key issues, schedule delays and cost overruns, which we have found to be effective in a negotiation meeting or mediation.

In the unfortunate event that a claim cannot be resolved through negotiation or mediation, we will assist the attorney/client team during arbitration or litigation with:

- Interrogatories
- Document discovery
- Expert report preparation
- Deposition preparation
- Trial preparation
- Expert testimony

Should you need assistance, we will work with you until your dispute is resolved.

PROACTIVE MANAGEMENT

Riedinger Consulting's experience with contract disputes and construction management provides the foundation for our proactive management services. We realize that clients want to resolve project issues efficiently and continue with their normal course of business. Investing in our services during the design and construction phases of projects will help resolve issues on an ongoing basis and significantly reduce the amount of disputes and associated costs that arise at the end of the project. We will assist your project team as an **independent task force** to identify the best business solutions to the issues that arise.

Proactive Management - Planning and Design

It is common for projects to fall behind schedule and have budget challenges before construction actually starts, making it important to manage projects during the planning and design phase. Riedinger Consulting assists Owners during design to manage the project budget and schedule, so that there are fewer surprises during construction.

Budget

As a project moves from a conceptual stage into design development, the project team makes the design decisions that have the greatest impact on the cost of a project. We can assist the project team with managing the budget as follows:

- Review cost estimates as design proceeds to identify potential to exceed the project budget.
- Track design changes and their effect on the budget to support requests for additional funding or explain cost increases.
- Review value engineering alternatives early in design development when the greatest potential for savings still exists.
- Assess the business costs of design delays and late design revisions.

Schedule

Overall project or program schedule float is often consumed during the design phase due to lack of design management. Similar to the construction phase, the design process has several interrelated activities and a critical path that leads to the completion of the design. Riedinger Consulting assists the project team by defining, scheduling, and managing design activities to minimize delays to the overall project. This includes:

- Identifying the steps and the critical path to reach key design milestones.
- Identifying the key interrelationships between the design activities.
- Allowing adequate time for design reviews, the incorporation of requirements from end users, and design revisions.
- Coordinating the work and information flow of the various design disciplines.
- Ensuring Owner decisions are made in a timely manner.
- Monitoring the progress of the design activities and adjusting the schedule as required.

Review of Contract Documents

Conflicts in the contract documents and incomplete information are the most common sources of changes during construction projects. Riedinger Consulting performs an independent review of the contract documents prior to construction bidding for completeness and constructability. Such a review will identify items such as:

- Mechanical, electrical, and plumbing systems which conflict with structural members and architectural features.
- Architectural details which conflict with structural or mechanical/electrical drawings.
- Details for new construction that do not take into account existing facilities.
- Equipment located in an inaccessible area for maintenance or replacement.
- Underground utilities which conflict with the foundations or grading plan.
- Complex architectural features with only conceptual details in the drawings.

Early identification of these issues can eliminate substantial delay later in the project.

In addition to reviewing the plans, we review the specifications relating to project controls such as scheduling, changes, and claims to assure that they provide the necessary guidelines for administering the contract. We have seen how delays in the change order process can lead to schedule delays, unanticipated costs, and disputes. We have also seen how the evaluation of schedule delays and the administering of time extensions are often left to be resolved at the end of a project. We assist Owners in structuring the contract to facilitate the quickest possible schedule and change order resolutions during the course of construction.

Proactive Management - Construction

During the construction phase of a project, the project team typically focuses on day to day problem solving and tasks that are necessary to keep the project moving. It is often helpful to have a third party assist with items requiring a broader perspective or with a specific set of issues that require dedicated attention. Riedinger Consulting assists Owners or Contractors as needed with tasks such as these at the beginning of a project or during the project to identify problem areas and recommend solutions.

Project Organization

We review the project organization to determine if the structure:

- Allows information to flow smoothly.
- Ensures that tasks and responsibilities are defined.
- Allows problem solving at the lowest level possible to minimize bottlenecks.
- Moves critical information to appropriate management levels in a timely manner.
- Is adequately staffed.

We review project documentation to see that the project team is documenting all changes, questions, and decisions in writing so that there is an as-built record of the project. This is particularly important for changes made in the field, or issues resolved at meetings, which may not otherwise show up in any project document. Additionally, we review daily reports, schedule updates, and other reporting mechanisms for content to verify that they communicate the necessary information.

Project Controls

We evaluate the project controls system and the process for updating the budget and the schedule to determine if they are effective for monitoring changes and for forecasting the final cost and completion date. Because projects often have multiple changes with a lengthy approval process, the status report may not reflect the current total cost and schedule of the project, making it virtually impossible to evaluate the impact of a change and make informed decisions.

To improve the accuracy of status reports and cost forecasts, we assist the project team with:

- Identifying issues with cost/schedule impacts.
- Providing an estimate in the budget forecast for each proposed change.
- Tracking and segregating Contractor costs for potential changes, to provide evidence of actual costs should the change be approved at a later date.
- Evaluating the cost of delay, such as extended overhead costs, so that these costs can be factored into the budget forecast for changes that require time extensions.

To manage the impact of delays and proposed changes more effectively, we assist the project team by:

- Evaluating the impact of pending and potential changes to the critical path of the current project schedule.
- Reviewing or preparing time extension requests during construction as delays occur.
- Determining the cost of mitigating project delays.
- Informing the Owner of the cost of accelerating the schedule versus extending the completion date and requesting direction to proceed.

Improving project controls also serves to facilitate the resolution of claims and disputes that may develop when proactive measures break down. These controls serve as a foundation for the analysis used in most dispute resolutions. As issues develop on a project, we help compile all relevant contract information, documents and correspondence. In addition, we assure that schedule delay and contract change notification requirements per the contract are met.

REPRESENTATIVE PROJECTS

Construction Contract Claims

San Francisco Oakland Bay Bridge Seismic Retrofit Project No. 18

Seismic Retrofit of the West Bay Bridge Superstructure between the San Francisco Anchorage and the Yerba Buena Island Anchorage.



- Analyzed the impacts of the late delivery and subsequent failure of the paint traveler system to the SSPC (Steel Structures Painting Council) Subcontractor's schedule.
- Calculated damages incurred by SSPC Subcontractor as a result of the delayed start and extended duration of its schedule due to the paint traveler system impacts.
- Prepared Summary of Damages report with supporting documentation quantifying all delay, acceleration, and accident related costs for recovery from paint traveler
- Created multimedia presentation of schedule analysis and resulting damages due to the paint traveler system impacts and presented analysis at multi-party mediation.

BART SFO Extension Project; San Francisco CA

Construction of 8.7 miles of new rail track and 4 new stations providing a direct transit link to San Francisco International Airport.



- Provided consulting assistance to second tier design firms with a DBE status as part of BART's Office of Civil Rights program.
- Reviewed the design firms' documentation to previous potential claim submittals and subsequent evaluations made by BART representatives.
- Prepared independent assessment of design firms' cost overruns due to extended performance, delays, labor inefficiencies and rework. Allocated BART's responsibility for costs due to scope changes, coordination issues and late submittal reviews.
- Presented findings at a Dispute Review Board (DRB) hearing.

Butterfield Boulevard South Extension Project; Morgan Hill, CA

Construction of new multilane roadway extension and bridge structure, including pile supported abutments, mechanically stabilized earth retaining walls, two detention basins, four concrete

- Assisted City in defending against General Contractor’s Claim for delay costs, import fill costs, and costs associated with various differing site conditions and design issues.
- Reviewed Contract Documents, plans and specifications to assess whether or not there was entitlement to the Contractor’s claims.
- Determined the as-built critical path of the project and analyzed impacts, concurrent delays, site conditions, and constructability issues to determine excusable vs. non-excusable delays.
- Presented schedule, issue, and claim analyses at mediation.



San Francisco International Airport; San Francisco, CA

Construction of Concourse H, North & South International Parking Garages. Rental Car and Quick Turnaround Facilities



- Assisted an architectural firm with demonstrating entitlement to additional costs for extended construction support services due to schedule delays. The Contractor alleged that schedule delays were caused by design errors & omissions.
 - Evaluated available construction schedules and time impact evaluations for each of the five projects and the timing of key design issues to determine if the Architect’s actions may have impacted the critical path of construction.
- Created summary schedules showing overall delay on each project as well as a comparison of as-planned and as-built schedules, demonstrating that key design issues were not impacting the critical path of the project schedules.
 - Participated in strategy sessions with client and outside counsel prior to client negotiating a favorable settlement.

Montevina Water Treatment Plant Upgrade; San Jose, CA

Substantial improvement project and installation of microfiltration membrane technology for a privately owned water treatment plant.



- Assisted General Contractor in evaluating and defending against Subcontractor labor inefficiency claim.
- Completed a detailed analysis of as-planned and as-built schedules to determine the magnitude of schedule delays and impacts.
- Reviewed labor curve data to evaluate the correlation between project issues and Subcontractor labor impacts.
- Assessed project issues and allocated responsibility for schedule delays and labor impacts.
- Presented analysis of claim at mediation.

Miller Park Boat Launching Facility; Marin County, CA

\$930,000 replacement of an existing boat ramp, cast in place within a steel sheet pile cofferdam.

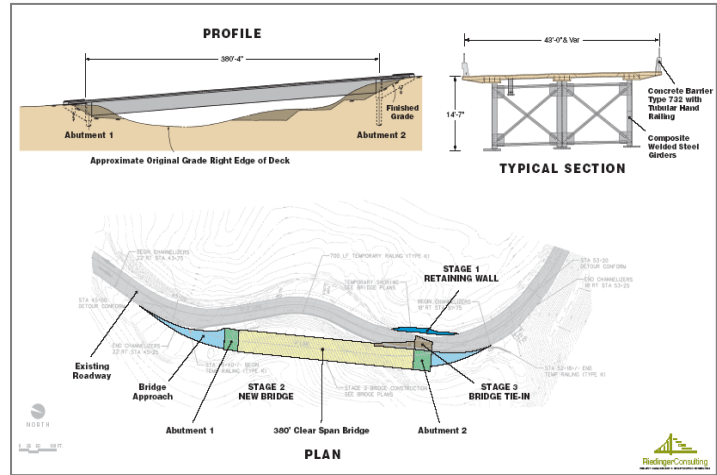
- Provided analysis of the General Contractor's claim for \$283,000 of additional costs due to differing site conditions.
- Categorized submitted time and material costs into seven main issues and analyzed the issues to determine the Contractor's entitlement to additional costs.
- Determined that the Contractor was not entitled to additional costs for dewatering, additional sheet piling, water barriers, and other associated mitigation costs, due to their failure to properly perform the work.
- Presented County's position on the Contractor's claim at mediation. The claim settled favorably.



White’s Hill Slide Repair; Marin County, CA

Construction of a 380 foot steel girder bridge over an existing slide located on White’s Hill near Fairfax, CA

- Analyzed Contractor’s claim for schedule related damages, Subcontractor claims and disputed issues.
- Performed an as-planned vs. as-built schedule analysis by construction stage to counter Contractor’s collapsed as-built schedule analysis.
- Analyzed schedule delay issues including excavated soil disposal, contractor changes in sequence to abutment construction, excavation Subcontractor performance, weather, and camber and bolt tightening problems.
- Presented opinion in a PowerPoint presentation at mediation.



Sanitary Sewer Rehabilitation Project; Emeryville, CA

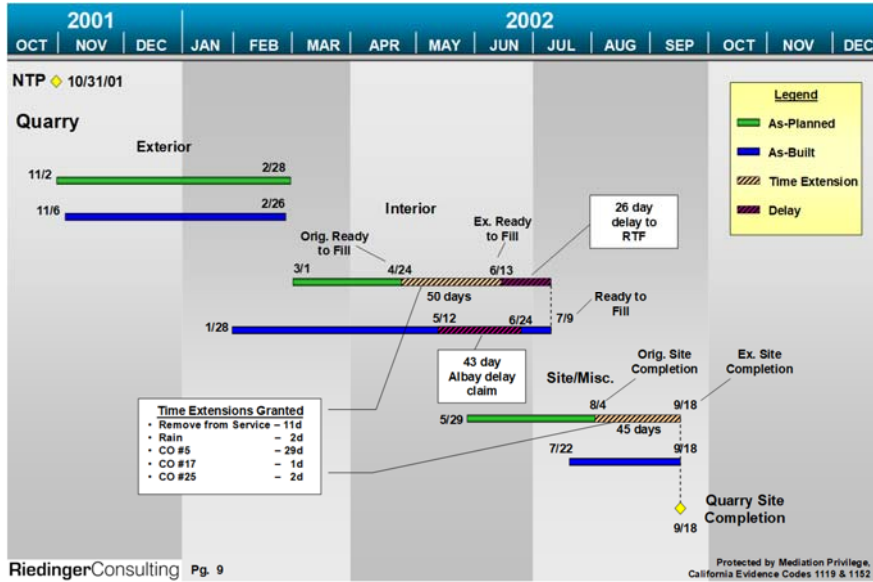
Installation of 410 LF new sewer main and 4 new manholes on major city street.



- Analyzed Contractor’s claim against the City of Emeryville to determine misrepresentation of Contract Work as Extra Work.
- Adjusted Labor, Material, and Equipment costs to acceptable values as outlined in Contract specifications.
- Summarized inspector logs, photographs, and other project documents to characterize Contractor’s low productivity and defective work which led to additional cost and delay.
- Presented at mediation a comprehensive analysis of Extra Work Reports, Invoices, Contract Documents, Caltrans Standard Specifications, and Job Cost records to substantiate significant deductions to Contractor’s Claim.
- Claim settled favorably for the City of Emeryville at mediation.

Concrete Reservoir Upgrade – Phase VII; Oakland, CA

\$4 million Seismic upgrade and restoration of five concrete reservoirs in the San Francisco Bay Area.



- Provided the Owner with third party review and opinion of Contractor’s claim.
- Determined actual days of delay to the critical path due to waterproofing coating issue and allocated responsibility for the delays.
- Analyzed delays to interim milestones for the five reservoirs to determine the appropriate amount of liquidated damages.

- Presented analysis of Contractor’s claim at mediation and recommended appropriate settlement.

State Route 131 Sewer Installation; Batavia, Ohio

Installation of 11,100 ft. of sewer mains.

- Provided an expert opinion to the Owner on the validity of a differing site conditions claim submitted by the General Contractor
- Reviewed expert reports prepared by geotechnical engineers regarding site conditions
- Identified several items in the claim that were overcharged, including: labor rates, equipment rates, labor covered by change orders, unused equipment, equipment used for contract work, and elective night work.
- Compared labor costs in bid to estimated actual labor costs to quantify labor overrun. Adjusted labor overrun for Contractor caused issues identified in Daily Reports.



350 East Cermak Data Center; Chicago Illinois


Annual maintenance of critical electrical infrastructure at 1.1 million sq. ft. Turn-key Datacenter.



- Calculated repair costs of damage resulting from an Arc Flash caused by unauthorized electrical work.
 - Prepared a Summary of Damages report quantifying costs of emergency work and equipment damaged.
 - Calculated additional Project Management costs incurred by the General Contractor following the incident, based on daily work logs, email correspondence and travel expenses.
 - Reviewed relevant contract language in prime contract and subcontract.
- Testified at Arbitration Proceeding regarding the General Contractor's damages
 - Client awarded full compensation including legal and consulting fees.

Savis SC-7 Data Center; Santa Clara, CA

\$15 million Renovation of existing data center, including improvements to HVAC Controls Systems.

- Analyzed Mechanical Subcontractor's previously submitted requests for additional labor costs due to unknown pre-existing conditions.
 - Prepared claim for Mechanical Subcontractor's additional labor costs based on payroll data, timesheets, and analysis of hours of individuals involved with additional work.
- 
- Provided Expert Report including an overview of the project schedule and acceleration plan, scope of work, the basis of the claim, and the explanation and summary of the Subcontractor's damages.
 - Provided rebuttal reports to General Contractor's expert reports including opinions about the General Contractor's performance in managing the project.
 - Provided Expert Opinion at arbitration at which client was judged the prevailing party.

Stuart Oil Shale Project; Gladstone, Australia

Construction of 6,000 ton/day oil shale processing plant – research and development project.

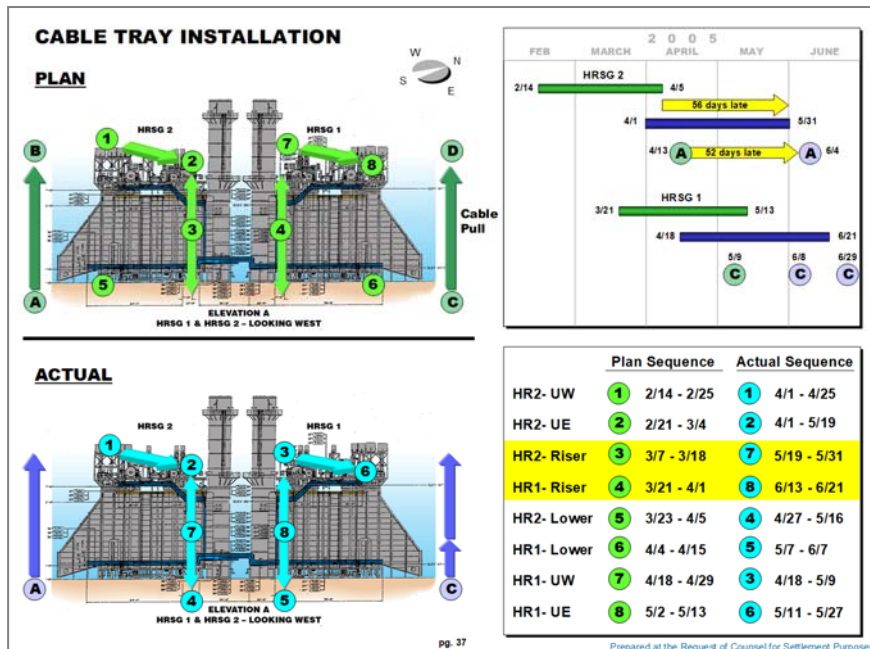
- Prepared a Request for Contract Adjustment for the General Contractor.
- Performed a detailed schedule analysis of 14 interrelated plants to determine the delays to the critical path.
- Assessed issues and allocated responsibility for delay
- Analyzed additional costs including lost productivity, premium time, mitigation efforts, and scope changes.



Walnut Energy Center; Turlock, CA

Construction of a 250-Mw cogeneration facility under a multi-prime contract.

- Performed schedule analysis to support Electrical Contractor’s Request for Equitable Adjustment.
- Identified delays to the Electrical Contractor’s critical path due to delays to the work of other prime Contractors, such as installation of cable tray supports and installation of mechanical piping.
- Calculated the costs of the acceleration and schedule workarounds performed by the Electrical Contractor due to the delays by others.



- Calculated the additional time related costs incurred by the Electrical Contractor.
- Performed labor analysis comparing bid hours to actual hours expended by commodity and by area. Identified design issues and schedule delays causing labor overruns in each area.
- Created presentation summarizing schedule analysis and corresponding costs requested and presented to the Owner as part of settlement discussions.

Olefins Expansion Project; Beaumont, TX

Construction of a 24M cracking furnace, required piping and building structure.



- Assessed Contractor's claim against the Owner for additional direct and time-related costs to determine its validity.
- Performed a preliminary schedule analysis to determine which activities on the critical path were delayed.
- Assessed the critical path schedule delays and disruption to the work.
- Allocated responsibility for the issues and the corresponding days of delay in each time period.
- Compared bid results to evaluate the spread between bidders and to determine bid productivity rates.
- Evaluated the Contractor's lost productivity calculations.
- Summarized findings in a report, which the Owner used as a rebuttal to the claim.

Red Hills Generating Facility; Ackerman, MS

Construction of a 440-Mw circulating fluidized bed, lignite-fired power plant.

- Developed a detailed as-built schedule delay analysis for the EPC Contractor.
- Identified key issues delaying the critical path to interim milestones such as start of structural steel, drum lift, boiler hydro, start of steam blows, and provisional acceptance.
- Performed a detailed analysis of the structural steel erection to identify impacts and assess delays.
- Interviewed key personnel, reviewed schedule updates, monthly progress reports, cost code data, boiler component deliveries, 4-week look-ahead schedules, refractory schedules and other contemporaneous documentation to explain schedule delays.



Foothill College Lower Campus; Los Altos, CA

\$64 million new construction of an eight-building, 93,000 SF, multi-storied campus addition built into a hillside, including a performing arts theater and rooftop gardens



- Assisted the Architect in defending against the Owner's claim for time related damages.
- Performed an as-planned vs. as-built schedule analysis by windows to show schedule impacts and shifts in the critical path.
- Analyzed key issues for which time extensions were granted and time related costs paid, which the Owner alleged were a result of design errors and omissions.

- Performed critical path and issue analysis to apportion responsibility for delay, determine compensability of days granted, and allocate responsibility for the time related costs.
- Presented schedule analysis at mediation.

Capuchino High School; San Bruno, CA

Construction of 981 seat Performing Arts Theater within existing Theater shell. New construction of small theater addition and of separate classroom building.

- Developed labor resource loaded schedule, schedule updates and daily report template for better progress tracking for Electrical Subcontractor.

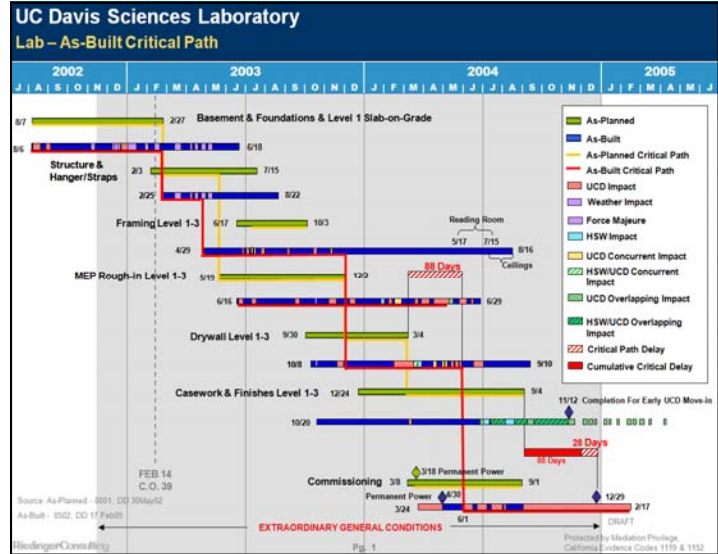


- Assisted in preparing change orders for costs arising due to labor inefficiencies and extended and extraordinary project management costs.
- Performed as-planned vs as-built labor and schedule analysis to support labor inefficiency and delay claims.
- Analyzed issues, daily reports, RFIs, and RFI response time, to identify labor and schedule impacts.
- Presented analyses at mediation with General Contractor and Owner.

UC Davis Sciences Laboratory Building and Lecture Hall, Davis, CA

\$40 million new construction of three story 141,000 ft² classroom/laboratory facility and a single story lecture hall, including related underground utility and site work

- Assisted General Contractor with the preparation of an Amended Claim for extended and extraordinary General conditions costs incurred due to schedule delay and disruptions.
- Utilized Contractor’s monthly schedule updates and other contemporaneous project documents to identify key issues which impacted the schedule and who was responsible for those issues.
- Analyzed 150 change proposals with time impact “To Be Determined,” to determine which schedule activities were impacted and for how many days the impact occurred.
- Analyzed inter-related issues impacting testing, start-up and commissioning of the building systems to determine who was responsible for delays to building occupancy.
- Presented schedule and issue analyses at mediation, identifying schedule impacts , concurrent delays, and net critical path delays.



San Jose State University Spartan Complex Seismic Upgrade; San Jose, CA

\$56 million seismic upgrade of six buildings on the San Jose State campus with original con-



- Assisted the Mechanical Contractor with development and settlement of their cumulative impact labor inefficiency claim.
- Analyzed as-planned and as-built schedules to determine magnitude of schedule compression to the mechanical trade activities.
- Reviewed design changes and impacts stemming from inadequate design documents.
- Evaluated cause and effect relationship between project issues and labor inefficiencies.
- Presented labor impact and claim analysis at mediation.
- Claim settled favorably before trial.

Hearst Memorial Mining Building; University of California Berkeley

Seismic retrofit (base isolation) and historic renovation of a nearly 100- year old 135,000 ft² building.



- Analyzed the General Contractor's and its Subcontractors' claims for additional time and costs. Assessed the University's potential liability for the Contractors' claims.
 - Participated in mediations between the Owner, the General Contractor and key Subcontractors. Developed and presented a multimedia presentation of the schedule analysis and the Owner's damages for the mediations.
 - Provided litigation support services to outside counsel such as assistance with document discovery, deposition preparation and question development, and preparation of trial exhibits.
- Provided expert testimony in deposition on the key project issues and the schedule analysis.

Chenoweth Elementary School, Merced, CA

\$5 million construction of Multi-Purpose Building and 4 classroom addition

- Assisted school district with defense against Contractor's claim for delay costs and additional project management.
- Compared as planned vs. as built schedules and identified delays to the critical path. Identified and quantified Contractor delays.
- Analyzed key issues to allocate responsibility for the issues and the corresponding critical path delays.
- Analyzed Contractor damages and calculated reasonable costs due to excusable, compensable delays.



Alcatraz Seismic Rehabilitation; San Francisco, CA

Stabilization, structural repairs and renovations to the Citadel, Shower Room , and Cistern of the historic Alcatraz Prison.

- Assisted concrete repair Subcontractor with preparation of a Request for Equitable adjustment from the General Contractor and Owner for defective plans and mismanagement of the contract.
- Prepared a claim against 2nd tier Subcontractor for defective and incomplete work, acceleration costs due to delays, additional labor support costs and labor inefficiencies due to trade stacking.
- Defended against claim from 2nd tier Subcontractor. Presented claim and defense at two mediations to settle dispute.
- Presented schedule and issue analysis and claim against General Contractor at mediation. General Contractor offered settlement to concrete repair Subcontractor.
- Prepared certified claim against the National Park Service as part of the General Contractor's certified claim.
- Prepared Expert Report and testified in Federal Court for trial between General Contractor and National Park Service.



CHP Field and Dispatch Office Replacement: Bakersfield, CA

\$15 million design and construction of a new CHP facility in Bakersfield, CA under a lease buy-back agreement.



- Performed schedule analysis to support lessor's claim for time related damages caused by State Fire Marshal change in firewall rating and other scope changes.
- Reviewed monthly schedule updates, daily reports and other project documents to create summary level as-built schedule.
- Analyzed project documents regarding key delay issues to determine where and how they impacted the critical path and to allocate responsibility for the delays.
- Compared the baseline schedule to the as-built schedule and identified delays to the critical path resulting from the State Fire Marshal and other scope changes.
- Case settled favorably in settlement conference prior to trial.

George Silliman Community Activity Center, Phase I; Newark , CA

Construction of a 36,400 square foot Activity Center which houses a gymnasium, teen center, activity rooms and daycare.

- Performed schedule analysis for Owner to determine what portion of the project delay was due to issues caused by Owner changes.
- Compared as-planned and as-built project schedules to identify critical path delay.
- Analyzed over 50 change requests with time extensions submitted by the Contractor during the project to assess whether the changes impacted the critical path of the schedule.
- Reviewed project documents such as meeting minutes, daily job reports, and RFI's to identify Contractor caused schedule delays.
- Summarized schedule analysis findings in four periods of time and presented in a PowerPoint presentation at mediation.



Robert Livermore Community Center; Livermore, CA

Construction of a \$19 million Recreation Center including two large buildings, a gymnasium and two outdoor swimming pools.



- Assisted Owner with defense of Contractor's time related claim and the Owner's assessment of liquidated damages.
- Analyzed several claimed delay issues to determine Contractor entitlement and time impact to the critical path of the schedule.
- Key issues included architectural design issues, mechanical and fire alarm issues, forced winter, sitework changes, DSA inspection issues, and disputed substantial completion date.
- Presented opinion in a PowerPoint presentation at mediation, which resulted in a settlement substantially less than the amount claimed.

Bruce R. Thompson Federal Building and U.S. Courthouse; Reno, NV

Construction of a ten-story, 275,000 ft² office building with courthouses, judge's chambers, detention cells, and underground parking.



- Prepared a Revised Request for Equitable Adjustment (REA) for the General Contractor, which included seven Subcontractor REA's.
 - Performed a time-impact schedule analysis to identify and allocate responsibility for the critical delays to the project.
 - Prepared damage calculations which correlated the schedule delays and actual cost overruns.
 - Prepared issue stories to describe the chronological series of events which led to the schedule delays.
 - Reviewed and incorporated Subcontractor claims into the REA.
- Developed a multimedia presentation and presented the claim in a mini trial before the Federal General Services Administration Board of Contract Appeals.

City of Morgan Hill Police Facility; Morgan Hill, CA

Modification of newly acquired City building for use by the Police Department.

- Performed schedule analysis to support Contractor's request for release of liquidated damages and payment of extended overhead.
- Reviewed project documents and daily reports to identify schedule impacts and confirm as-built schedule dates.
- Reviewed change issue proposals (CIP's) to determine how changes impacted the critical path of the schedule.



- Analyzed key delay issues to determine how they impacted the critical path of the schedule and who was responsible for the issues.
- Prepared Preliminary Expert Report with schedule exhibits demonstrating how and when changes impacted the critical path of the schedule, and the net impact these changes had to project completion.
- Contractor received favorable settlement from the City before trial.

Veterans Affairs Hospital Remodel; Fresno, CA

Abatement, Demolition and Remodel of 13,700 SF Special Clinics Floor at working VA Hospital



- Prepared Contractor Claim against Veterans Affairs for additional work and time expended due to poor project design and management.
- Identified delays and impacts to Construction Sequence and Schedule due to inaccurate representation of existing conditions in design, additional demolition and abatement, limited access to work areas during hospital operations not outlined in the Contract, and disruptive, negligent Project Management.
- Quantified additional costs associated with schedule delays and impacts as well as uncompensated scope changes.
- Submitted an Expert Report detailing methods of analysis and conclusions.
- Gave multimedia presentation at Federal Mediation describing schedule analysis and quantifying damages incurred by Contractor as a result of VA Design and Project Management failures.
- Claim settled favorably for Client after Federal Mediation.

Hoover Dam Visitor Center; Boulder City, NV

Construction of Visitor Center and Parking Structure at the Hoover Dam.

- Assisted the General Contractor with preparation of a Breach of Contract claim against the U.S. Bureau of Reclamation.
- Reviewed entitlement issues including differing site conditions, defective and deficient contract documents, constructive and directed changes, and mal-administration.
- Prepared an Expert Opinion Report to support the claim.
- Assisted counsel and expert witness in trial preparation.



Infinity Towers; San Francisco, CA

Construction of two low-rise buildings and two high-rise towers consisting of 640 luxury condominium units and community facilities, with five levels of underground parking.

- Provided schedule and cost analysis of multimillion dollar claim against design engineers as a result of shoring wall failure.
- Analyzed three cost categories paid under Builder's Risk Policy:
 - Costs to repair shoring wall
 - Costs to mitigate schedule delay
 - Extended Owner Costs
- Analyzed planned schedule and construction sequence of this multi-building project and how the shoring wall failure actually impacted the schedule and construction sequence.
- Identified over 50% of costs that were not attributable to the shoring wall failure.
- Presented cost and schedule analysis at multi-party mediation.
- Claim settled favorably at mediation.



Transbay Block 8 (The Avery); San Francisco, CA

Construction of a 55-story residential tower with over \$400M in construction financing.



- Assisted second-tier Electrical Subcontractor with development of its labor inefficiency claim due to schedule impacts, poor scope definition, numerous changes, lack of project management and processing of change orders, and late delivery of materials.
- Met with project team throughout construction to identify key impacts to its schedule and labor productivity.
- Analyzed contract documents, schedule updates and drawings to highlight key reasons for on-site issues and delays.
- Performed labor escalation analysis resulting from project delay.
- Determined deviation from baseline schedule impacting Subcontractor's schedule and labor efficiency.
- Developed several tables quantifying the various components of the claim including: impacted production in units, additional material handling and temporary power & lighting, time lost waiting for man lifts, labor escalation, overtime and extended field overhead.

City Heights Urban Village Project; San Diego, CA

Construction of 116 townhome units with underground parking, a six-story office building, and a four-level parking structure.

- Assisted an insurance company in quantifying its potential liability for project delay and associated costs resulting from the termination of an Owner Controlled Insurance Program (OCIP) it sold. The OCIP termination resulted in the replacement of several Subcontractors who could not meet the insurance requirements necessary to complete the project.
- Prepared an independent schedule analysis to determine the time impact from the OCIP termination by illustrating the construction status when the OCIP termination occurred, the duration of the termination delay period, and the other issues that impacted the project schedule.
- Analyzed the claimed Contractor costs and Owner costs to determine what portion was due to the OCIP termination. Reviewed the claimed Contractor costs to differentiate between scope changes, repair work and the premium paid for the replacement Subcontractors' work, as well as to determine a reasonable daily cost for extended general conditions.
- Provided litigation support services to outside counsel including document discovery, developing questions and preparing counsel for percipient witness depositions and preparing trial exhibits.
- Provided expert testimony in deposition and at trial in California State court on the schedule delays and the additional project costs due to the OCIP termination.



Riviera Condominiums: Walnut Creek, CA

\$22M Construction of 48 Unit Condominium Development in Walnut Creek, California.



- Assisted General Contractor with defense against Owner's claim that the Contractor delayed the completion of the project.
- Analyzed project documents regarding key delay issues to determine whether and when they impacted the critical path and to allocate responsibility for the delays.
- Prepared Expert Report in response to Owner Expert's Report regarding schedule delays.
- Prepared summary graphic to identify where and how key utility and sitework issues impacted the schedule.
- Presented schedule analysis and key findings in mediation to defend against liquidated damages and to support General Contractor's claim for time-related costs.

Aertson Nashville Midtown Project; Nashville, TN

Construction of 600,000 square foot, 17 floor mixed use complex of upscale apartments, hotel, and retail in midtown Nashville, TN.

- Represented a joint venture client performing electric work for the project.
- Reviewed and analyzed project documents including drawings, schedules, daily reports, invoices and communications, to determine the cause of delays and cost overruns on the project.
- Summarized findings and determinations in an Expert Report and with PowerPoint slides and charts.
- Gave Expert testimony at an arbitration hearing.
- Case settled in favor of our client.



Apple Campus 2; Cupertino, CA

Construction of Apple Park, Corporate Headquarters of Apple Inc.



- Worked with the project team to develop a process for tracking labor impacts and schedule impacts.
- Assisted the project team with providing notice to the General Contractor regarding labor and schedule impacts.
- Assisted with pricing the Change Order Requests for extended General conditions.
- Participated in weekly conference calls with legal counsel regarding claim strategy.

Niketown SF ; San Francisco, CA

Interior and storefront remodel of the existing Niketown Store, including full demolition of existing store fixtures, finishes, lighting, and limited mechanical and electrical systems, as well as installation of new interior walls, finishes, fixturing, lighting and mechanical and electrical systems.

- Assisted Subcontractor in preparing claim against the General Contractor for approved, but unpaid change orders, wrongfully rejected change orders, extraordinary and extended supervision, and labor inefficiency costs.
- Claim included cost for premium time associated with swing and alternate shifts.
- Calculated cost for additional supervision and non-working foremen required because of increased manpower requirements
- Quantified productivity loss due to time spent waiting on design information, trade stacking, resequencing, learning curve and manpower continuity.
- Calculated labor inefficiency due to worker fatigue using the NECA Model for Productivity Loss associated with extended periods of overtime, swing shifts, and alternate shifts.
- Created as-planned vs as-built summary schedule to show delays caused by numerous plan revisions and incomplete predecessor work.
- Prepared as-Planned vs As-Built Labor Curve from payroll data to compare planned progress to actual progress due to delays and inefficiencies shown in summary schedule analysis.
- Presented cost and schedule analysis at mediation.
- Claim settled favorably for client at mediation.



Bay Street Development Project; Emeryville, CA

A 400,000 square foot mixed use development including five buildings of retail space, a cinema, restaurants and townhouses.

- Assisted an insurance company with the evaluation of a construction damages and business interruption claim made against the environmental liability policy it provided to the developer.
- Prepared independent schedule analysis to determine what portion of the claimed project delay was due to encountering environmental conditions.
- Reviewed Contractor’s documents and schedules to identify other key issues that delayed the critical path of the project schedule.



- Allocated the percentage of claimed acceleration costs expended by the Contractor to recover delay due to environmental conditions. Assessed other change orders claimed by the developer as costs due to the environmental conditions.
- Analyzed the developer’s claimed business interruption expenses due to the delayed project opening.
- Provided expert testimony in a Federal court trial on the schedule impacts and costs due to environmental issues.

Margaritaville Building; Capitola, CA

Renovation of the building shell and tenant improvements for the Margaritaville Restaurant, Mr. Toots Coffee Shop, and three apartments.

- Representing the Owner, performed a cost analysis of Contractor’s invoiced costs to determine whether it had invoiced for more than it had expended.
- Identified specific items for which the Contractor over-billed or did not provide the proper support, including changes in scope, field labor, cost plus items and late fees.
- Provided opinion on the construction contracts with respect to reasonableness and industry standards.
- Provided opinion on the quality of the Contractor’s project management, focusing on the following areas:
 - Cost control and cost management
 - Change order pricing and management
 - Scheduling
 - Field supervision
 - Subcontractor management
 - Quality control
- Presented opinions in a PowerPoint presentation at arbitration.



3000 Third Street; San Francisco, CA

Construction of a \$12 million, 3-Story steel-frame light industrial/office building.



- Provided defense support for structural steel design/build Contractor and steel supplier as a result of defective welding of trusses.
 - Created As-planned versus As-built schedule for foundation and structural steel erection.
 - Analyzed involvement of structural engineer and Owner with the resolution of the welding issue to allocate responsibility for impacts to schedule due to design input and due to welding failure repair.
 - Identified City permit delays which caused delay to project schedule after welding repairs had been completed.
- Provided opinion to counsel and client on maximum amount of delay to project due to welding issue and presented findings in a PowerPoint presentation.
 - Client received favorable settlement from Owner prior to trial.

Hotel Paseo; Palm Desert, CA

\$22.5 million construction of a new-three story Marriott Autograph Series hotel.

- Assisted the Owner with their claim of time related damages resulting from the delayed opening date of the hotel.
- Analyzed as-planned vs. as-built schedules to determine what impacted the critical path of the project and when.
- Performed detailed issue analysis to determine how many calendar days of delay were attributed to the Contractor.
- Presented Owner and legal counsel with a presentation summarizing the analysis as preparation for mediation.



REPRESENTATIVE PROJECTS

Project and Construction Management

Johnson Street and Utility Improvement Project; Sausalito, CA

Removal and reconstruction of 1600 LF of sewer main and laterals, replacement of 6400 SF road section, and 16,000 SF of asphalt concrete overlay.

Construction Management on behalf of the City of Sausalito, including:

- Daily monitoring of construction activities, labor, equipment, and material quantities installed.
- Coordination with residents and businesses affected by construction activities and with construction of adjacent public safety facilities.
- Review of submittals, requests for information, and resolution of field issues.
- Review and processing of change order requests and payment applications.
- Bi-weekly project meetings with the General Contractor.



Sausalito Yacht Harbor Bulkhead Replacement; Sausalito, CA

\$4.2 million construction of a 700 ft long concrete sheet pile bulkhead & timber boardwalk.



Provided preconstruction services including:

- Facilitated weekly preconstruction meetings with the Yacht Harbor Owners, City of Sausalito, and Design Engineer.
- Identified, scheduled, tracked, and helped complete tasks required to prepare documents for bid.
- Reviewed and ensured incorporation of government agencies' permit requirements.
- Identified constructability issues in plans and specifications and helped the project team resolve those issues.
- Developed Division 0 & Division 1 Specifications, Instructions to Bidders, Construction Schedule (in P6), and various other bid documents.
- Performed Quantity Take-off and Bid Documents for boardwalk lumber procurement.
- Assisted City with analyzing bid results for General Contractor and lumber bids.

City of Sausalito ADA Improvements ; Sausalito, CA

Construction management of \$1.2 million of accessibility improvements at 160 locations throughout the City of Sausalito.



- Assisted the City with preparation of bid documents, based on existing conditions, for the improvement of multiple items throughout the City of Sausalito, to comply with the ADA (Americans with Disabilities Act).
- Prepared over a dozen bid packages grouping various accessibility improvements, which enabled fast-track construction start dates and facilitated completion of multiple locations.
- Performed construction management and inspection for all of the bid packages.

Urgent Sewer Replacement ; Sausalito, CA

\$1.27 million replacement of existing sewer mains, laterals and manholes by open trench excavation on residential streets, followed by pavement restoration and replacement.

Construction Management on behalf of the City of Sausalito, including:

- Coordinated with utility companies, design engineers, and Contractor.
- Reviewed and provided comments on plans and specs regarding constructability issues, inconsistencies, and omissions.
- Reviewed submittals, project schedules and design changes throughout the project.
- Negotiated and prepared change orders.
- Developed punchlist and performed final inspection for project acceptance.



Sausalito - Marin City Sanitary District Wet Weather Flow Upgrade

\$24 million upgrades to existing wastewater treatment plant.

- Performed daily inspection to ensure compliance with plans and specifications.
- Maintained project progress reporting through daily written reports and site photos.
- Coordinated with all involved parties for special inspections.
- Developed punchlist of incomplete items for project closeout.



Robin Sweeny Park Improvements; Sausalito, CA

\$1.4 million demolition and replacement of City park, including playground equipment, synthetic turf and rubberized playground surfacing; landscaping earthwork, trenching drainage and planting; and hardscape, including ADA accessible stairs, ramps, and paths of travel.



Provided preconstruction services including:

- Reviewed plans and specs for constructability issues, inconsistencies, and omissions.
- Performed quantity take-off and developed contract bid form
- Worked with City and Architect to value engineer project for budgetary constraints
- Designed details for parking, curb ramps and landing areas to meet ADA requirements.

Provided construction management and inspection services including:

- Reviewed design changes, issued Requests for Proposals, and evaluated Contractor's proposals
- Participated in weekly O/A/C meetings
- Reviewed Contractor's schedules
- Performed daily inspection to ensure compliance with plans and specifications
- Coordinated with City, Architect, and Contractor to resolve issues that arose during construction
- Developed punchlist and performed final inspection for project acceptance.

Vision 2000 Maritime Program; Port of Oakland, CA

\$600 million construction program consisting of two marine terminals, new roads, a Joint Intermodal Terminal and Middle Harbor Shoreline Park.

- Conducted a Performance Audit of the Vision 2000 Program to determine how the program was performing in terms of schedule, budget, and overall administration.
- Reviewed and submitted audit reports for three of the largest construction projects within the program including the Berth 55/56 Wharf & Yard, the Joint Intermodal Terminal and the 57/58 Wharf. Each report included findings and recommendations on project organization, cost and schedule management, construction administration procedures, coordination, and potential claims and risks.
- Reviewed and submitted an audit report for the overall program management which included an evaluation of program staffing, program organization, the change order process, Owner Controlled Insurance Program, program budget and costs, the selection process for consultants, the use of construction management consultants in lieu of Port engineering staff, program coordination, program reporting, program staff training and development, and construction administration procedures.
- Met with the Port's program management team to discuss the findings and recommendations from each project audit and from the overall program management audit.



Antelope Valley East Kern Water Agency; Palmdale, CA

Performed a benchmarking study of the engineering services provided to the water agency to determine if they should consider other selection procedures and contractual arrangements for their engineering services.

- Interviewed key personnel at the water agency and at the engineering company that was servicing the agency.
- Compared billing rates, overhead charges, computer usage charges and other criteria to the industry average.
- Evaluated the existing contract between the water agency and the engineering company.
- Study concluded with a written report and an oral presentation to the Board of Directors of the water agency.

Central Artery/Third Harbor Tunnel Project; Boston, MA

The relocation of 8 miles of interstate highway from an elevated structure through downtown Boston, Massachusetts, to a depressed system of interstate highway, the construction of a new tunnel under the Boston Harbor, and a major bridge crossing of the Charles River.

Part of a team engaged by the Massachusetts Highway Department to conduct a management review of this project including:

- Organizational structure
- Change order and claims control procedures
- Scheduling and cost control methodology
- Decision making process
- Reviewed the relationship between the engineering and construction manager and the Massachusetts Highway Department to determine if the organization, procedures, methodology, and processes were in place to accomplish the design and construction in an effective and efficient manner. Made recommendations for improvements.



Solyndra Fab 2 Manufacturing Building; Fremont, CA

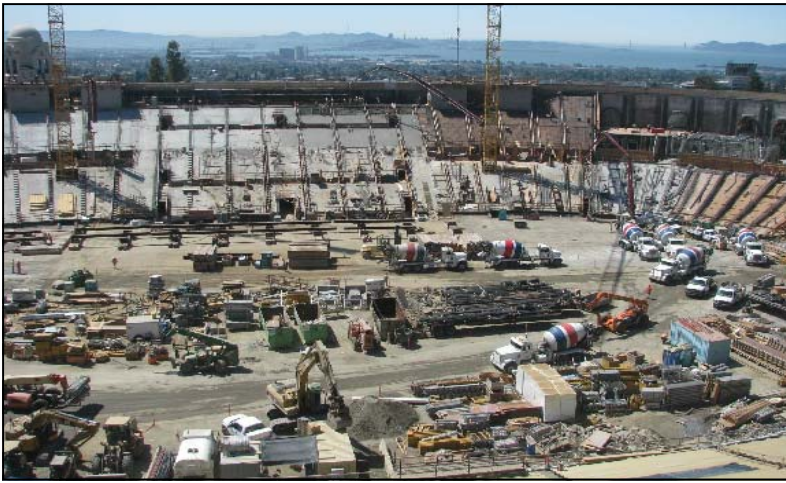
Construction of a \$235 million, 609,000 SF state-of-the-art solar panel manufacturing facility.



- Assisted Controls Subcontractor with schedule management on this fast-track, double shift project.
- Reviewed General Contractor's weekly look-ahead schedules to advise Subcontractor's project team on priority of its work.
- Reviewed contractual requirements regarding schedule, time, project milestones, phasing, and liquidated damages, and summarized key points for management.
- Created progress tracking tool linking checkout of 1200 control points to the schedule for operational acceptance testing (OAT) for various pieces of equipment and systems.
- Assisted project team with coordination with controls design engineer and commissioning agent.

California Memorial Stadium; Berkeley, CA

\$202 million seismic retrofit and renovation of 63,000 seat historic stadium



Reviewed Contractor P6 baseline schedule and contract documents to identify:

- Inconsistencies in schedule logic and construction sequencing.
- Project scope not adequately covered in the schedule.
- Non-compliance with contract requirements
- Areas of schedule risk
- Reviewing Contractor's monthly

schedule updates and reporting critical path changes, milestone slippage, and key schedule impacts to the University Project Management Team.

- Analyzing project delays and Contractor's requests for additional time or acceleration costs.

UC Berkeley Campbell Hall; Berkeley, CA

Planned construction of an 82,000 SF, 7 level mid-rise reinforced concrete sciences building, including 11 state of the art laboratories that comprise the Center for Integrated Precision and Quantum Measurement (CIPQM).

- Created a 32 month project schedule for demolition of the existing building and construction of the new building.
- Created a construction schedule for the interior build-out of the CIPQM laboratories and shielded experimentation modules.
- Merged the building schedule and the lab build-out schedule into a master project schedule.
- Created a summary level schedule to be used as a bid schedule.



University of San Francisco Dorm Renovation Projects; San Francisco, CA

\$7 million Renovation of two existing dormitories in 11 weeks.

- Assisted in preparation of a conceptual estimate of the projects to assist University with project funding.
- Management and oversight of two General Contractors and two hazardous materials Contractors.
- Bid and award of hazardous materials contracts including preparation of bid packages, pre-bid job walk, evaluation of bids and notice to proceed.
- Reviewed Contractors potential change orders and negotiated final change orders.
- Participated in weekly Owner/Architect/ Contractor meetings and assisted with day to day problem solving at the project. Assisted Owner with management of key issues to keep schedule on track.



University of San Francisco, Kalmanovitz Hall; San Francisco, CA

\$25 million Renovation of 120,000 sf existing building.



- Reviewed General Contractor's project schedule due to Owner's concern that it did not adequately cover the scope of the project and that the project was behind schedule.
- Identified areas of schedule that were missing or inadequate and met with General Contractor to review.
- Created summary level project schedule based on Contractor's project schedule and Owner's move-in schedule for Owner's use.
- Added key milestones for each area and level of the building for the Owner's Project Manager to monitor.
- Reviewed the job progress each month to update the summary project schedule, to identify critical path activities that were slipping, and to provide a forecast to complete.

San Jose State University Spartan Recreation & Aquatic Center; San Jose, CA

\$100 Million design-build project for a state of the art college recreation facility.

- Assisted General Contractor with baseline schedule development.
- Prepared monthly schedule updates, including reports and narrative.
- Identified issues impacting the schedule and potential critical path delays.
- Prepared Time Impact Analyses to support requests for time extension.



Santa Rosa Junior College Luther Burbank Auditorium Modernization; Santa Rosa, CA

\$28M Renovation of Luther Burbank Auditorium and Addition of a Small Theater



- Assisted Owner's representative in reviewing schedule updates in relation to actual work progress on site.
- Reviewed Time Impact Analyses submitted by the Contractor and provided recommendation to Owner regarding time extensions to the contract.

Cragmont Elementary School; Berkeley, CA

Construction of a new elementary school and ancillary facilities.

- Reviewed the projected schedule-to-complete for the General Contractor to determine if the forecasted completion date was achievable.
- Provided recommendations to revise logic relationships and activity durations, so that the true critical path was identified in the schedule and was reasonable.
- Recommended strategies for completing the project as quickly as possible while minimizing the exposure to Subcontractor disruption claims.
- Assisted the Contractor with a procedure for properly documenting delay issues in the construction schedule.

Hearst Memorial Mining Building; University of California Berkeley

Seismic retrofit (base isolation) and historic renovation of a nearly 100- year old 135,000 ft² building.



- Assisted the University with review of requests for time extensions and monthly schedule update reviews throughout the duration of the project.
- Performed a detailed schedule analysis of the critical path of the project, which ran through the load transfer sequence activities for the base isolation of the building, to determine any impacts and associated delays.
- Performed specific issue analyses to understand the extent of impact on the project and to allocate responsibility between the parties. Key issues included differing site conditions, rain, and temporary shoring system design.
- Participated in numerous working sessions with the General Contractor and its scheduling consultant to establish a mutual understanding of the as-built critical path and the key delays to the project, in an attempt to resolve disputed issues prior to mediation.

RÉSUMÉS



constance@riedingerconsulting.com

Constance Riedinger specializes in project management services and dispute resolution in the construction and engineering industry. Her consulting experience includes project management oversight and assistance, claims management, dispute resolution, litigation support and expert witness testimony. Ms. Riedinger has had extensive experience in construction and engineering management as described below.

EXPERIENCE

Riedinger Consulting

Sausalito, CA

President, 1997–Present

- Assists clients with project management, schedule management, and project controls on large, complex projects and programs.
- Assists clients with the management of troubled projects and with the recovery of time, money and damages to which they are contractually entitled. Provides schedule delay analysis, cost analysis, and issue analysis to support the clients' requests for contract adjustment.
- Assists clients with the resolution of construction disputes including review and rebuttal of contractor claims against owners, subcontractor claims against general contractors, and owner claims against designers, contractors and construction managers.
- Assists clients with management reviews or studies to assess the effectiveness of existing organizational structures, project controls systems, project management procedures and contract documents.

Peterson Consulting LLC

San Francisco, CA

Executive Consultant, 1994–1997

- Assisted multiple clients with disputes and other management issues related to the design and construction or manufacturing of projects.
- Performed schedule, damages, and issue analyses for both defendants and plaintiffs to help resolve claims.
- Provided expert testimony in mediations for construction disputes.

East Bay Municipal Utility District

Oakland, CA

Project Manager, 1991–1992

- Managed the planning and design phase of wastewater projects. Main project: Relocation of North Interceptor and Other Wastewater Facilities due to Caltrans Cypress Structure Replacement project.
- Implemented design consultant selection process, negotiated contracts, managed consultants and reviewed design documents.
- Interfaced with internal departments and other public agencies for coordination of projects.

West Engineers

San Francisco, CA

Project Manager, 1989–1991

- Managed the construction of Parking Garage 'A' and Baggage Claim Facility for the City of San Jose. This was a \$37 million project which was part of the San Jose International Airport Terminal "A" Expansion Program.
- Managed contract administration and inspection staff of ten.
- Reported progress to and coordinated with the City of San Jose Department of Public Works, Airport Operations, third party contractors and design consultants.

EDUCATION

Stanford University

Palo Alto, CA

- M.S., Construction Engineering and Management

University of Dayton

Dayton, OH

- B.S., Civil Engineering

REGISTRATION

- California Registered Civil Engineer (C46809)

PROFESSIONAL ORGANIZATIONS

- Associate – American Bar Association
- Women's Transportation Seminar (WTS)
- American Society of Civil Engineers, Construction Institute
- Bay Area Water Works Association
- Tau Beta Pi

PUBLICATIONS

- “The Fundamentals of Construction Contracts: Claims - When They Can’t Be Avoided,” Lorman Education Services; Oakland, California, 2004

SEMINARS & PRESENTATIONS

- “The Fundamentals of Construction Contracts: Claims- When They Can’t Be Avoided,” Lorman Education Services; Oakland, CA, 2004-2006.
- “Tricks, Traps and Ploys Used in Construction Scheduling in California,” Lorman Education Services; Oakland, CA 2004-2005, and 2014.
- “Construction Change Orders: Unraveling the Myths in California,” Lorman Education Services; Oakland, CA 2005-2006.
- “Managing Construction Projects in California,” Lorman Education Services; San Francisco, CA, 2006.

Lucas Menyhart & Tooher

Sydney, Australia

Senior Planning Consultant, 1988

- Provided planning and program management during the design development of the New South Wales State Headquarters Facility for the Australian Postal Service.
- Created plans and schedules for overall project and for each phase of the project from conceptual design through employee relocation/move-in.

Rudolph & Sletten

Foster City, CA

Project Engineer, 1983-1987

- Managed the construction of commercial building projects ranging from \$7 million to \$20 million.
- Prepared two week look ahead and overall project schedules, prepared and negotiated change orders, reviewed submittals, prepared progress billings, resolved disputes, monitored job costs.
- Ran weekly progress meetings with owner and design consultants as well as weekly meetings with subcontractor foremen.

TESTIMONY EXPERIENCE

- *Bruce R. Thompson Federal Courthouse, Reno, Nevada.* Provided expert testimony on schedule delays and damages in a mini trial before the General Services Administration Board of Contract Appeals. Retained by general contractor.
- *Bay Street Development, Emeryville, CA.* Provided expert testimony on schedule delays and damages in deposition and trial for Federal Court proceeding. Retained by insurance company.
- *Henkel-Wallace Residence, Palo Alto, CA.* Provided expert testimony on estimated percent complete at the time of Contractor termination in arbitration. Retained by owner.
- *Hearst Memorial Mining Building, University of California, Berkeley.* Provided expert testimony on schedule delays and issues in deposition for Superior Court of California proceeding. Retained by owner.
- *City Heights Urban Village, San Diego, CA.* Provided expert testimony on schedule delays and damages in deposition and trial in the Superior Court of California. Retained by insurance company.
- *3000 Third Street Project, San Francisco, CA.* Provided expert testimony on schedule delays and construction management issues in deposition for Superior Court of California. Retained by subcontractor.
- *La Serena Properties, Capitola, CA.* Provided expert testimony on construction costs, contract administration and billing procedures, job cost accounting, and time and materials change orders in arbitration. Retained by owner.
- *Savis SC-7 Data Center, Santa Clara, CA.* Provided expert testimony in arbitration on labor cost overruns, subcontractor damages, and general contractor’s mismanagement. Retained by subcontractor.
- *350 East Cermak Data Center, Chicago, IL.* Provided expert testimony in arbitration on Owner and General Contractor’s damages due to electrical subcontractor accident. Retained by subcontractor.
- *Aertson Nashville Midtown Project, Nashville, TN* Provided expert testimony in arbitration on total costs incurred by the electrical subcontractor, resulting from project schedule delays and resulting acceleration of their work. Retained by joint venture subcontractor.
- *Alcatraz Seismic Rehabilitation, San Francisco, CA* Provided expert testimony in Federal Court on additional costs incurred due to defective plans and mismanagement of the contract. Retained by concrete repair subcontractor.



art@riedingerconsulting.com

EDUCATION

University of Central Connecticut

New Britain, CT

- B.A., History/English

SPECIAL TRAINING

And CERTIFICATIONS

- Public Works contract management training through UC Berkeley ITS
- Excavation safety trained
- Confined Space safety trained; CPR/First Aid
- UC Berkeley ITS Traffic Engineering School, 40-hr intensive in fundamentals of traffic engineering
- Asphalt pavement maintenance: several UC Berkeley ITS pavement maintenance seminars and a 40-hr intensive training by the Asphalt Institute in pavement mix design and maintenance strategies

PUBLICATIONS

- ITE Journal (Journal of the Institute of Transportation Engineers) July 1995, "Designated Parking: A California First." Belvedere, CA develops a parking solution to the emergency access problems on its narrow residential streets.

Art Gibney has over 35 years of professional experience in the operation, management and construction of water and wastewater works and municipal facilities, including asphalt pavement, storm drainage systems, sanitary sewer systems and miscellaneous Public Works infrastructure. He has been involved in over \$50 million worth of multi-disciplinary projects in Marin County during his private and public sector experience.

Mr. Gibney has 25 years Public Works management experience. He worked for the cities of Belvedere and San Rafael, where he served as Public Works Superintendent and Public Works Operations Manager respectively. In this capacity, he participated in the design of various storm water, sanitary sewer and miscellaneous asphalt and concrete roadway projects, and he managed construction and inspection of projects. Key responsibilities included coordination between public agencies during project design and construction, contract administration, with specific concentration on maintaining public relations as a key to successful project completion.

EXPERIENCE

Riedinger Consulting

Sausalito, CA

Project Manager and Construction Inspector, 2015—

- For the Sausalito Marin City Sanitary District, provides inspection consulting for the Treatment and Wet Weather Flow Upgrade project.
- For the City of Sausalito, provides construction management and inspection consulting. Projects include sanitary sewer and storm drain installation, ADA curb ramp design and installation, City park and playground projects, and various other municipal infrastructure projects.

The Covello Group

Walnut Creek, CA

Construction Inspector, 2009—2014

- For the Novato Sanitary District, provide construction observation, develop and maintain computer files of daily reports and photographs. Assist in project management duties. Proficiency with Procore construction management software.
- Projects and activities include: recycled water facility construction, gravity and force main sewer installation, sewer infrastructure abandonment, horizontal directional drilling, microtunneling, pipe bursting, sewer pump station construction, trenching, backfill, paving, erosion control, stormwater pollution prevention. For North Marin Water District, project management for recycled water pipeline and associated facilities.

City of San Rafael

San Rafael, CA

Operations and Maintenance Manager, 2006–2009 (retired)

- Plan, organize and direct the maintenance divisions of the Public Works Dept., including Streets Division, San Rafael Sanitation District, Facility Repair, Parks Maintenance, and Fleet Services (56 employees).
- Coordinate activities with outside agencies, including Caltrans, Transportation Authority of Marin, County of Marin, Marin Municipal Water District, PG&E, AT&T.
- Write staff reports, Resolutions, and make presentations to City Council.
- Prepare plans, drawings and sketches, and specifications for various infrastructure maintenance projects, create bid documents, award bids and manage projects to completion, including Public Works inspection.
- Project inspection: asphalt roadway repairs, curb and gutter, stormwater pump station project.
- Work with contractors, contract and staff engineers.
- Prepare maintenance records and technical reports.
- Work with citizen groups to address specific needs and reach consensus on issues.

City of Belvedere

Belvedere, CA

Superintendent of Public Works, 1984–2006

- Development and implementation of Public Works Maintenance and Administration budget; joint development and implementation (with City Engineer) of a Capital Improvement Program and a Sewer Enterprise Fund.
- Prepare certain Public Works bid documents, plans and specifications; award bids and administer projects to conclusion, including all Public Works related project inspection.
- Project Inspection: responsible for all aspects of project inspection for sanitary sewer pump station rehabilitations (12 complete rehabs), alarm and telemetry upgrades, sanitary sewer main replacements and emergency repairs, storm drain replacements and repairs including slip lining and pipe bursting, asphalt overlays and repairs, concrete infrastructure replacements such as curb and gutter and sidewalk, ADA curb ramps, retaining walls, and other public works infrastructure projects.
- Responsible for all Public Works related permit issuance and compliance. Write new Public Works ordinances; amend existing ordinances and prepare staff reports; attend all appropriate City Council meetings and make presentations as necessary.
- Responsible for daily operation of Public Works crew, and maintenance of Public Works fleet, buildings, streets, storm and sanitary sewers, parks and trees.
- Manage all maintenance aspects of the Belvedere Sanitary District and associated Sewer Enterprise Fund.
- Sanitary Sewer Contract Administration: responsible for managing contract with Tiburon Sanitary District #5 for treatment of sewage and with Central Marin Sanitary Agency for maintenance of sewage pumping stations in Belvedere. Develop and monitor maintenance contract. Responsible for administering contract for preventative and emergency maintenance and repair of sewer collection system. Representative to Board of Directors of Tiburon Sanitary District #5—attend all meetings and represent Belvedere's interests.



stephen@riedingerconsulting.com

EDUCATION

Arizona State University
Phoenix, AZ

- B.S., Construction, 1991

Stephen F. Delaney has over 25 years of experience consulting to the construction/engineering industry. He specializes in high level assessments and detailed evaluations of construction contract claims and disputes including, project delay and disruption analysis, forensic schedule analysis, claims management, and project oversight. Mr. Delaney has performed a variety of roles for clients including, evaluation of contractor claims, schedule analysis and assessments of project delays, productivity and inefficiency analysis, re-forecasts of project completion, contract administrative process evaluations, project risk assessments, change order evaluations, project status assessments and reporting, capital program/project audits, and evaluations of project controls.

His project experience includes hospitals, medical centers, skilled nursing facilities, universities, multi-unit residential developments, highways, major bridge construction, coal and gas fired power plants, industrial processing plants and commercial

EXPERIENCE

Riedinger Consulting

Sausalito, CA

Senior Associate, 2011–Present

- Provides schedule analysis, labor productivity analysis, cost reviews, damages calculations, and claims support on large, complex construction claims.

SF Delaney Consulting

San Francisco, CA

Principal, 2009–Present

- Construction contract claims management and project delay advisory services. Assists owners, contractors, and consultants with troubled projects, construction claims, and dispute resolution.

Deloitte Financial Advisory Services

San Francisco, CA

Manager, 2005–2008

- Provided construction advisory services including construction claims management, schedule delay analysis, project status reviews, capital project procurement audits, and evaluations of program and project contract administration.

Navigant Consulting

San Francisco, CA

Associate Director, 2000–2006

- Provided construction contract claims and dispute services, schedule delay analysis services, and program oversight services serving the construction, government contract, and software industries.

The Barrington Consulting Group

San Francisco, CA

Senior Manager, 1991–2000

- Provided construction claims and dispute services to the construction industry that included evaluation of contract changes, assessment of project delays, productivity impacts, and costs and damages



RiedingerConsulting
Project Management & Construction Consulting